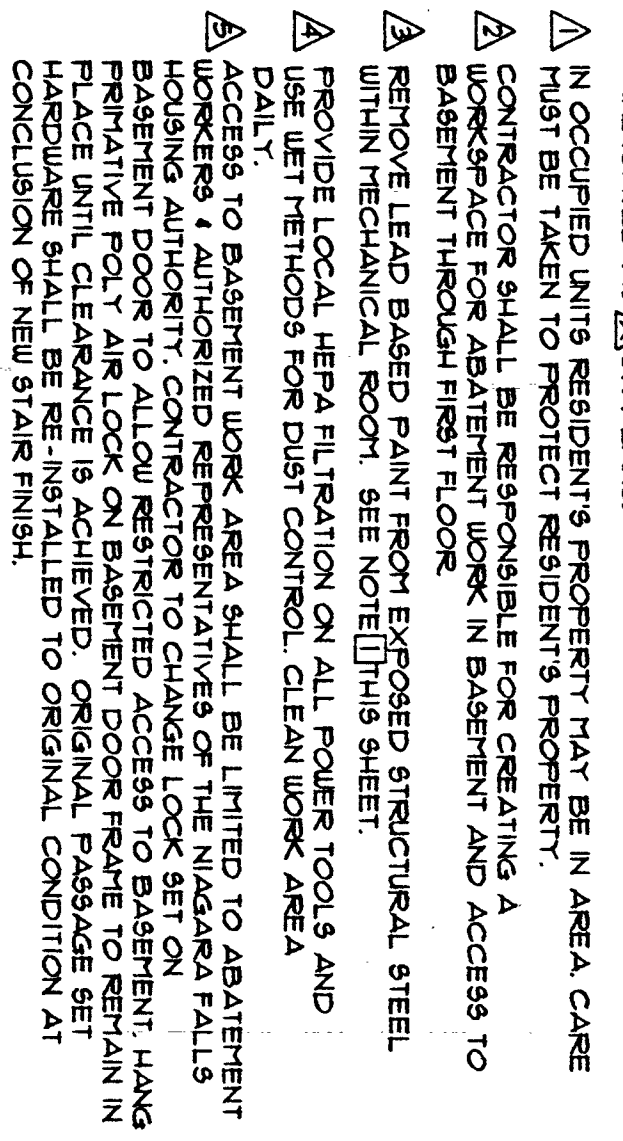
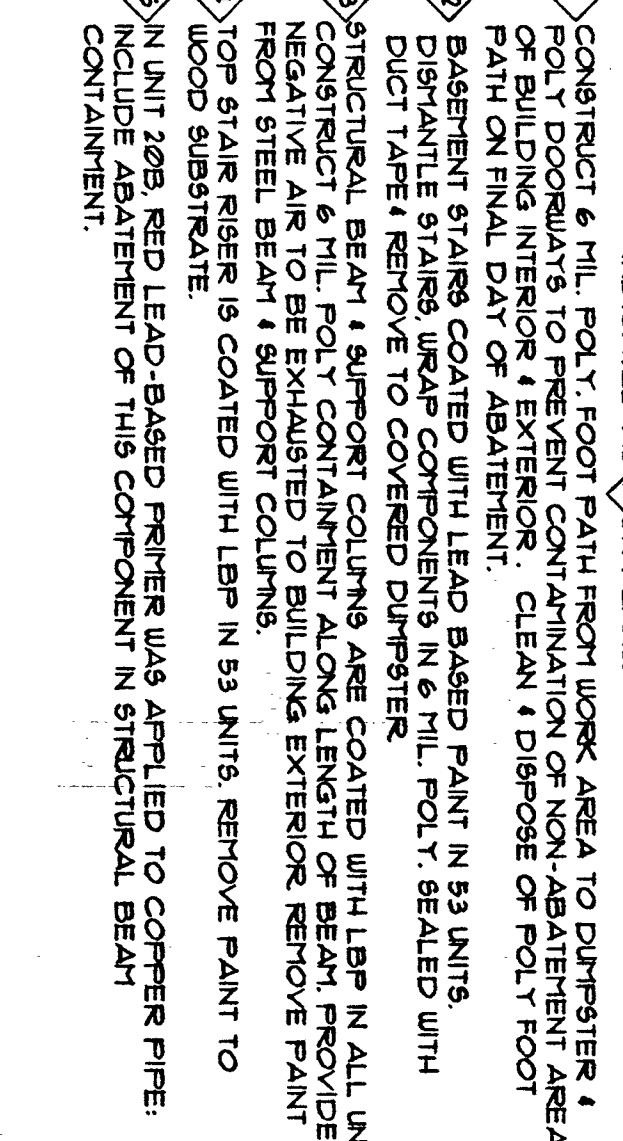
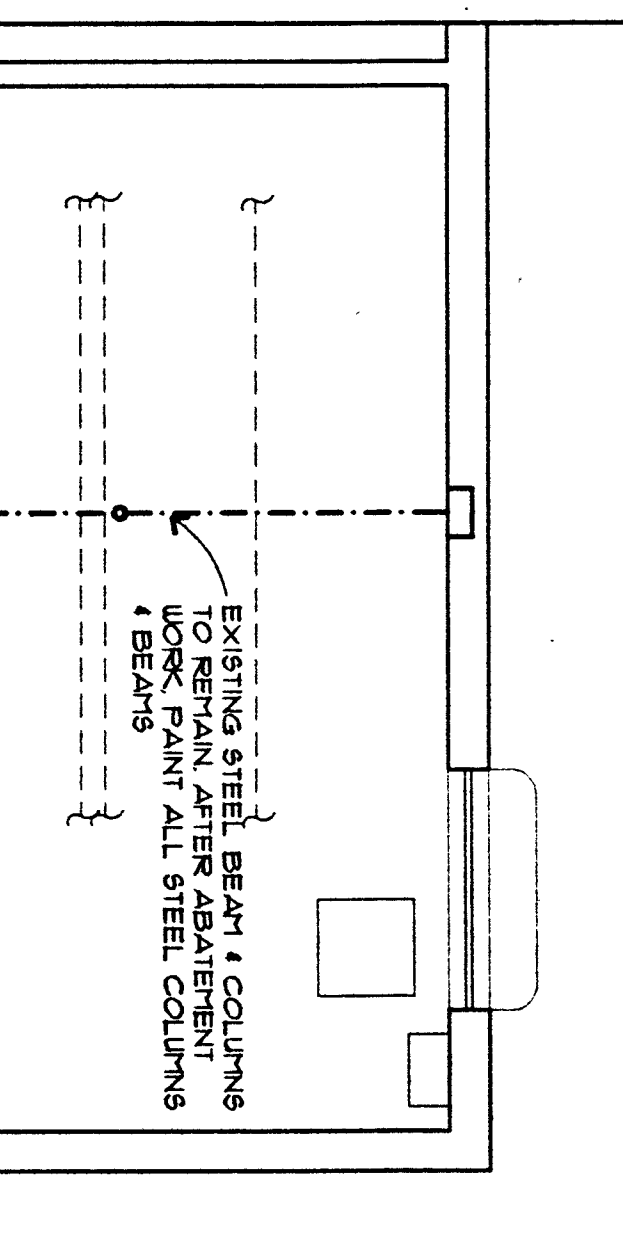
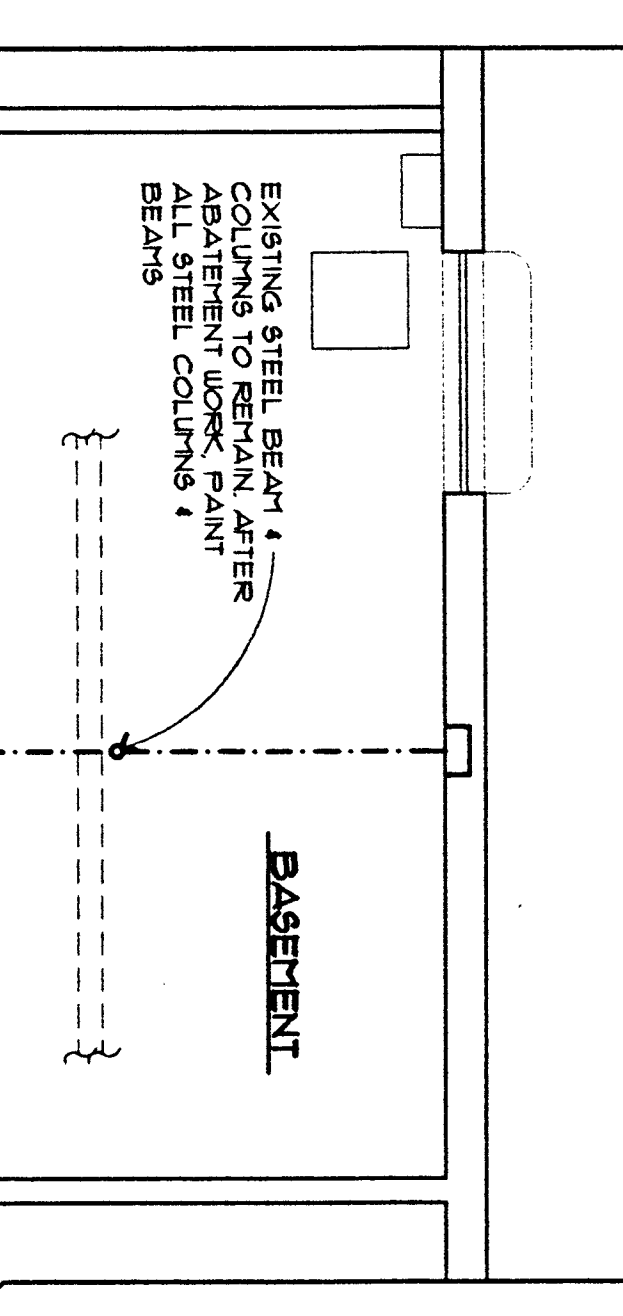
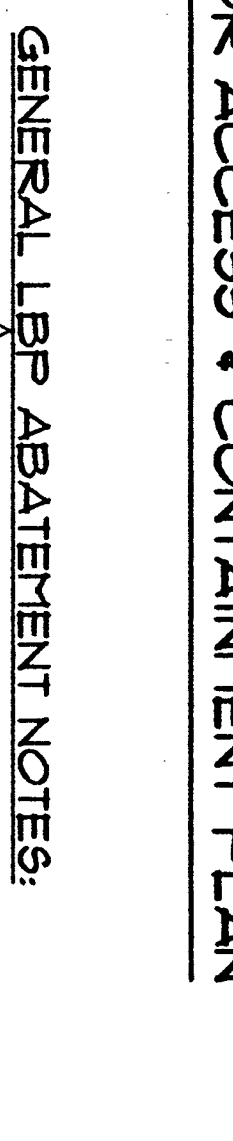
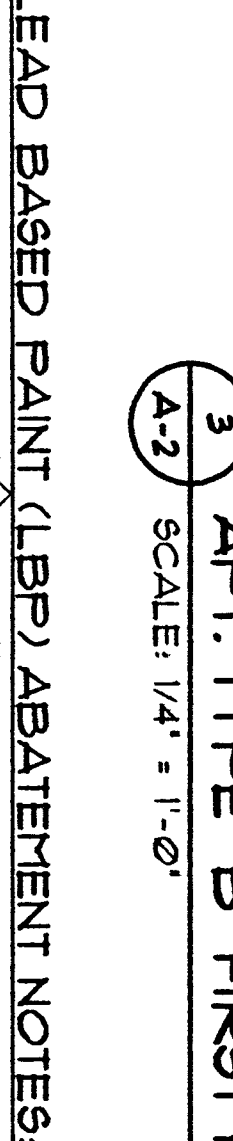


1 APT. TYPE 'B' LEFT (TYP.)  
SCALE: 1/4" = 1'-0"

2 APT. TYPE 'B' RIGHT (TYP.)  
SCALE: 1/4" = 1'-0"

3 APT. TYPE 'B' LEFT (TYP.)  
SCALE: 1/2" = 1'-0"

4 APT. TYPE 'B' RIGHT (TYP.)  
SCALE: 1/2" = 1'-0"



**GENERAL NOTES: INDICATED AS ON PLANS.**

- CONTRACTOR SHALL MAINTAIN FLOOR DRAINAGE AND SUMP PITS FREE FROM THE ACCUMULATION OF DEBRIS DURING ALL ABATEMENT, DEMO, AND NEW CONSTRUCTION OPERATIONS. WASTE OR DEBRIS WASHED INTO THE BASEMENT STORM DRAINAGE SYSTEM SHALL BE REMOVED AND THE SYSTEM RESTORED TO A PRE-CONTRACT CONDITION BY THE RESPONSIBLE CONTRACTOR.
- EXISTING ELEVATED COPPER SANITARY WASTE PIPING, EXACT LOCATION VARIES BY ADDRESS. FIELD VERIFY ACTUAL LOCATION.
- EXISTING BOILER PACKAGES, VENTING SYSTEM, AND OVERHEAD PACKAGING LIMITS ACCESS TO STRUCTURAL STEEL STAIR WORK AREAS. FIELD VERIFY ACTUAL CONDITIONS.
- EXISTING MECHANICAL FIELD VERIFY ACTUAL CONDITIONS. BOILER PACKAGES, FIELD VERIFY ACTUAL LOCATION AND QUANTITY.
- EXISTING FLOOR OPENING FRAMING TO REMAIN. FIELD VERIFY ACTUAL LOCATION, SIZE AND DIMENSIONS.
- FRESH AIR INTAKE PIPING, LIMITS ACCESS TO STRUCTURAL STEEL. FIELD VERIFY ACTUAL LOCATION AND CONFIGURATION VARIES BY ADDRESS.

**GENERAL NOTES: INDICATED AS ON PLANS.**

- EXIST. BOILER WATER SUPPLY PIPING, VIF.
- ALTERNATE FRESH AIR INTAKE ORIENTATION.
- CONTRACTOR REPLACE STAIR WITHIN EXISTING STAIR OPENING.
- WASTE PIPING SUPPORTED FROM ABOVE, PIPE ELEVATION VARIES BY ADDRESS. FIELD VERIFY ACTUAL CONDITIONS. CONTRACTOR TO PENETRATE STAIR WALL, IS TO BE REMOVED. CONTRACTOR TO PROTECT PIPE DURING STAIR ABATEMENT, DEMOLITION, AND NEW CONSTRUCTION ACTIVITIES.
- CONTRACTOR TO VIF. ACTUAL. EXIST. DRILLED RAIL BRACKET LOCATION. ABANDON EXIST. IF REQUIRED RAIL ELEVATION IS NOT ACHIEVED WITH NEW CONSTRUCTION. PATCH ABANDONED BRACKET HOLES WITH REIN. FIBERGLASS RESIN PATCHING SYSTEM SAND FIBERGLASS REIN. PATCHING SYSTEM. FIELD VERIFY ACTUAL LOCATION AND QUANTITY.
- PAINT EXISTING STAIRWELL WALLS AND CEILING SURFACES.

**GENERAL LBP ABATEMENT NOTES:**  
INDICATED AS ON PLANS.

- CONTRACT & THE 80% FLOOR PLAN FROM WORK AREA TO DISPERSE & POLY DECONTAMINATE TO PREVENT CONTAMINATION OF NON-ABATEMENT AREAS OF BUILDING INTERIOR & EXTERIOR. CLEAN & DISPOSE OF POLY FOOT PATH ON FINAL DAY OF ABATEMENT.
- BASEMENT STAIRS COATED WITH LEAD BASED PAINT IN 53 UNITS. DISMANTLE STAIRS WRAP COMPONENTS IN 6\"/>

**GENERAL LBP ABATEMENT NOTES:**  
INDICATED AS ON PLANS.

- N OCCUPIED UNITS RESIDENTS PROPERTY MAY BE IN AREA CARE MUST BE TAKEN TO PROVIDE RESIDENTS PROTECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A PERMIT TO ABATEMENT THROUGH FIRST FLOOR.
- REMOVE LEAD BASED PAINT FROM EXPOSED STRUCTURAL STEEL WITHIN MECHANICAL ROOM. SEE NOTE [THIS SHEET].
- PROVIDE LOCAL HEPA FILTRATION ON ALL POWER TOOLS AND DAILY METHODS FOR DUST CONTROL. CLEAN WORK AREA.
- ACCESS TO BASEMENT WORK AREA SHALL BE LIMITED TO ABATEMENT WORKERS & AUTHORIZED REPRESENTATIVES OF THE NIAGARA FALLS HOUSING AUTHORITY. CONTRACTOR TO CHANGE LOCK SET ON PRIVATE POLY BARRIER ON BASEMENT DOOR FRAME TO REMAIN IN PLACE. CONTRACTOR TO PROVIDE ACCESS TO BASEMENT WORK AREA. HARDWARE SHALL BE RE-INSTALLED TO ORIGINAL CONDITION AT CONCLUSION OF NEW STAIR FINISH.

**GENERAL DEMOLITION & LBP ABATEMENT NOTES: INDICATED AS ON PLANS.**

- WHERE MECHANICAL OR PLUMBING SYSTEMS, EQUIPMENT OR MATERIALS ARE IN DIRECT CONTACT WITH ABATEMENT SURFACES, CONTRACTOR SHALL REMOVE LEAD BASED PAINT TO LIMITS OF TEMPORARY BARRIER. CONTRACTOR SHALL NOT BE REQUIRED TO REMOVE SUCH MECHANICAL AND PLUMBING SYSTEMS.
- REMOVE POLY BARRIER FROM STAIRS AND STAIR ENCLOSURE. CONTRACTOR SHALL RESTORE ALL WORK AREAS TO ORIGINAL CONDITION AFTER COMPLETION OF LBP ABATEMENT AND STAIR WORK. FIELD VERIFY LOCATION AND QUANTITY BY ADDRESS.
- REMOVE STAIR AND HANDRAIL SYSTEM COMPLETE INCLUDING 4\"/>

**Architecture Unlimited**

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Niagara Falls, New York 14102

**Project**  
LEAD BASED PAINT ABATEMENT  
AND BASEMENT STAIR  
REPLACEMENT AT  
JORDAN GARDENS DEVELOPMENT  
NIAGARA FALLS, NEW YORK

**Drawing Title**  
APARTMENT TYPE B  
PLANS AND DETAILS

|                    |                |                 |
|--------------------|----------------|-----------------|
| Drawing No. 02-022 | Date: 01/29/01 | Scale: AS NOTED |
| Checked by: JMK    | Drawn by: JMK  | Title: A-2      |

REGISTERED ARCHITECT  
JORDAN J. KOZLOWSKI  
No. 022523  
Exp. 12/31/01

A-2