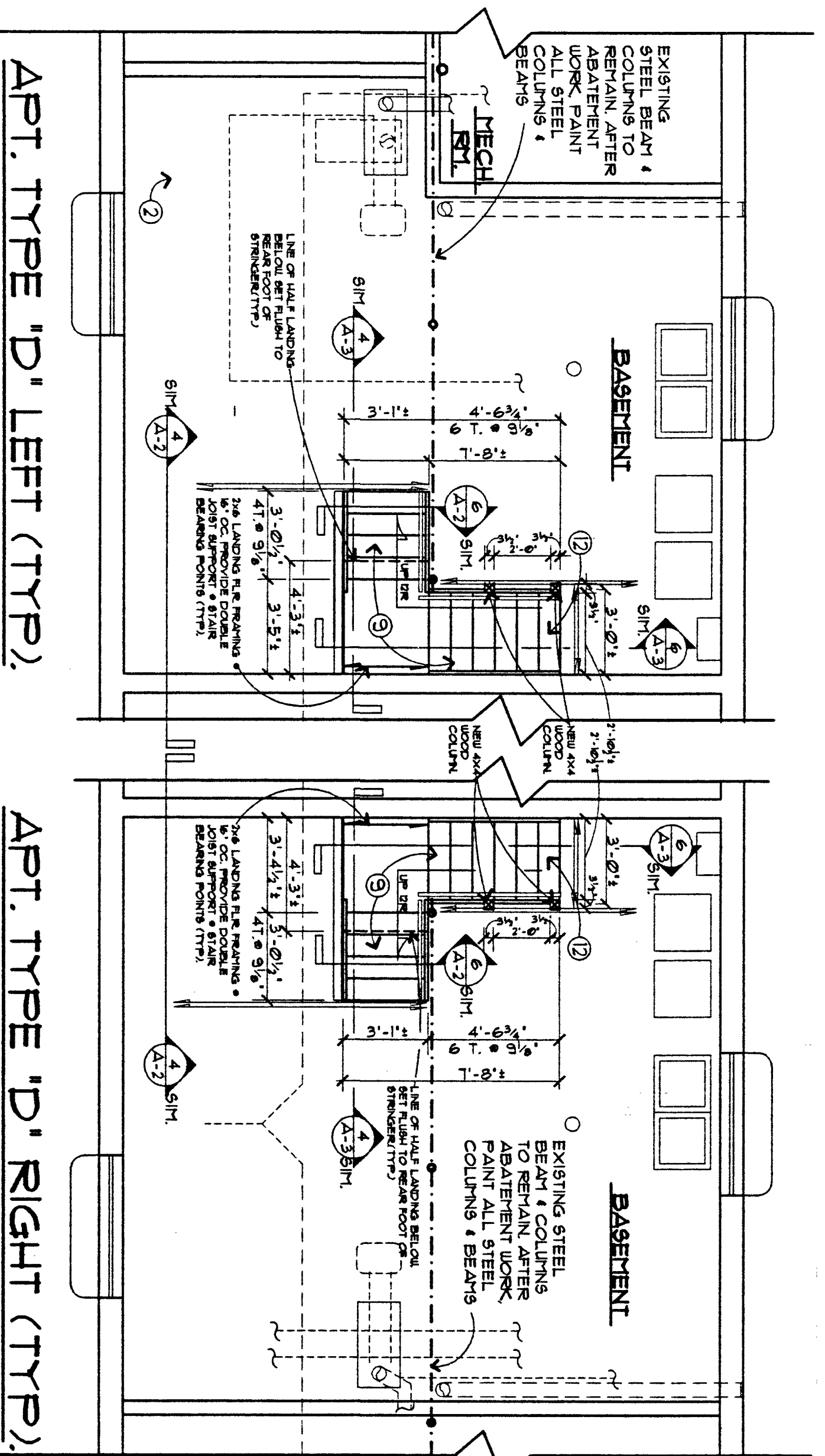
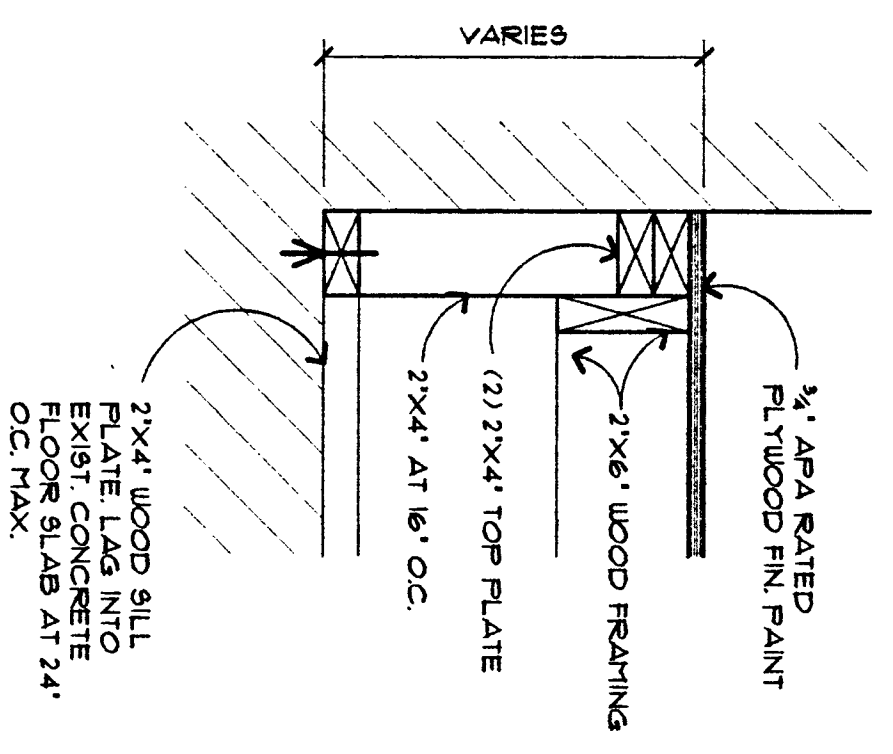


1 APT. TYPE 'D' LBP ABATEMENT & GENERAL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

3 APT. TYPE 'D' FIRST FLOOR ACCESS & CONTAINMENT PLAN
SCALE: 1/4" = 1'-0"

4 PLATFORM DETAIL
SCALE: 1/2" = 1'-0"



LEAD BASED PAINT (LBP) ABATEMENT NOTES:

- ① CONSTRUCT & TYP. POLY FOOT PATH FROM WORK AREA TO DUMPSTERS & POLY DUMPSTERS TO PREVENT CONTAMINATION OF NON-ABATEMENT AREAS FROM ON FINAL DAY OF ABATEMENT.
- ② BASEMENT STAIRS COATED WITH LEAD BASED PAINT IN 53 UNITS.
- ③ DISMANTLE STAIRS WRAP COMPONENTS IN 6 TYP. POLY BEADED WITH DUCT TAPE REMOVE TO COVERED DUMPSTER.
- ④ STRUCTURAL BEAM & SUPPORT COLUMNS ARE COATED WITH LBP IN ALL UNITS.
- ⑤ STRUCTURAL & TYP. POLY CONTAINMENT ALONG LENGTH OF BEAM PROVIDE FROM STEEL BEAM & SUPPORT COLUMNS.
- ⑥ TOP STAIR RISERS IS COATED WITH LBP IN 53 UNITS. REMOVE PAINT TO WOOD SUBSTRATE.
- ⑦ UNITS 22A, 22D, LEAD-BASED PRIMER WAS APPLIED TO COPPER PIPE. INCLUDE ABATEMENT OF THIS COMPONENT IN STRUCTURAL BEAM CONTAINMENT.

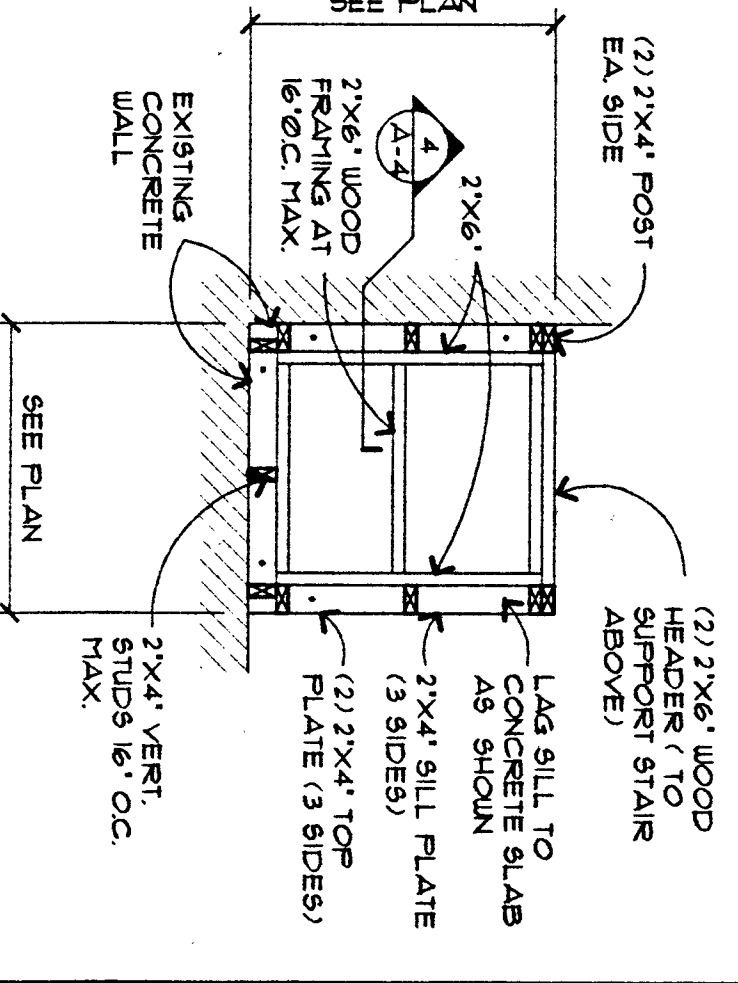
GENERAL LBP ABATEMENT NOTES:

- △ INDICATED AS ON PLAN.
- △ OCCUPIED UNITS RESIDENT & PROPERTY MAY BE IN AREA CASE MUST BE TAKEN TO PROTECT RESIDENT & PROPERTY.
- △ CONTRACTOR SHALL BE RESPONSIBLE FOR CREATING A WORKSPACE FOR ABATEMENT WORK IN BASEMENT AND ACCESS TO BASEMENT THROUGH FIRST FLOOR.
- △ REMOVE LEAD BASED PAINT FROM EXPOSED STRUCTURAL STEEL WITHIN MECHANICAL ROOM. SEE NOTE ① THIS SHEET.
- △ PROVIDE LOCAL HEPA FILTRATION ON ALL POWER TOOLS AND DAILY.
- △ ACCESS TO BASEMENT WORK AREA SHALL BE LIMITED TO ABATEMENT WORKERS AUTHORIZED SUPERVISOR OR THE NIGARA FALLS UNIT SUPERVISOR. RESTRICTED ACCESS TO BASEMENT FROM UNITS THROUGH DOOR TO RESTRICTED ACCESS TO BASEMENT. HANG PRIMITIVE POLY AIR LOCK ON BASEMENT DOOR FRAME TO REMAIN IN PLACE UNTIL CLEARANCE IS ACHIEVED. ORIGINAL PASSEGBERT HARDWARE SHALL BE RE-INSTALLED IN ORIGINAL CONDITION AT CONCLUSION OF NEW STAIR FINISH.

GENERAL DEMOLITION & LBP ABATEMENT NOTES:

- △ INDICATED AS ON PLAN.
- ① WHERE MECHANICAL OR PLUMBING SYSTEMS, EQUIPMENT OR APPLIANCES ARE IN DIRECT CONTACT WITH ABATEMENT SURFACES, CONTRACTOR SHALL REMOVE AND BASED PAINT TO LIMITS OF CONTACT ARE AS NOTED ON SHEET. ACCESS TO ABATEMENT TO RELOCATE SUCH MECHANICAL AND PLUMBING SYSTEMS.
- ② TEMP. RELOCATE ELECTRICAL CIRCUIT AND LOW VOLTAGE WIRING PRIOR TO START OF LBP ABATEMENT AND STAIR REPLACEMENT WORK. RESTORE ALL WIRING AFTER COMPLETION OF LBP ABATEMENT AND STAIR REPLACEMENT WORK.
- ③ EXTRACT FOR RE-USE EXISTING MECHANICAL PLUMBING FLEXIBER INTERFERING WITH ACCESS TO STRUCTURAL STEEL. AFTER INTERFERING WITH ACCESS TO STRUCTURAL STEEL, ACCESS TO STEEL DURING LBP ABATEMENT ACTIVITIES. RESTORE AFTER COMPLETION OF LBP ABATEMENT AND STAIR REPLACEMENT. FIELD VERIFY LOCATION AND QUANTITY BY ADDRESS.
- ④ REMOVE STAIR AND HANDRAIL SYSTEM COMPLETE INCLUDING AT BASEMENT LEVEL.
- ⑤ REMOVE WALL FRAMING AND SHEATHING ON OPEN SIDE OF EXISTING HALF LANDING.
- ⑥ WHERE APARTMENT ADDRESS CONTAINS, ALTERNATE BOILER PACKAGE LOCATION, ASSOCIATED PLUMBING AND MECHANICAL EQUIPMENT, PIPING AND ALL OTHER APPLIANCES HAVE LIMIT ACCESS TO STRUCTURAL STEEL. LBP ABATEMENT WORK THIS LOCATION.
- ⑦ FIELD VERIFY ALL LOCATIONS BY ADDRESS WHERE SANITARY FLEXIBER STRUCTURES ARE AS NOTED ON THIS SHEET. (WITHIN 1/12" OF STRUCTURAL STEEL). SEE NOTE ① THIS SHEET.
- ⑧ BOILER SUPPLY OR SPACE HEATING PIPING HAT ENCUMBER ACCESS TO ABATEMENT SURFACES. SEE NOTE ① THIS SHEET.
- ⑨ BOILER EXHAUST HAT ENCUMBER ACCESS TO ABATEMENT SURFACES. SEE NOTE ① THIS SHEET.
- ⑩ DOUBLETIC HOT AND COLD WATER PIPING SUPPORTED BY AND ENCUMBER ACCESS TO TOP OF ABATEMENT SURFACES. SEE NOTE ① THIS SHEET.
- ⑪ ABOVE DOUBLETIC HOT AND COLD WATER PIPING NOT FASTENED IN VICINITY OF BEAM. PIPING CAN BE TEMP. DISPLACED BY HAND DURING LBP ABATEMENT AND NEW FINISH ACTIVITIES.
- ⑫ AT ALL STAIR STAIR WALL, LANDING AND HANDRAIL, REMOVE ALL PATCH DAMAGED EXISTING SURFACES TO REMAIN TO MATCH UNPAINTED ADJACENT CONDITIONS.
- ⑬ REMOVE EXISTING WOOD COLUMNS SUPPORTING DOUBLE JOIST FLOOR AND STRUCTURE ABOVE AS PART OF TEMPORARY SHORING DURING ABATEMENT & STAIR REPLACEMENT ACTIVITIES. INSTALL AND REMOVE COMPLETE SHORING SYSTEM TO ENSURE NO NOTICEABLE DEFLECTION OR DISPLACEMENT OF EXISTING CONSTRUCTIONS.
- ⑭ FRESH AIR INTAKE PIPING THAT ENCUMBER ACCESS TO ABATEMENT SURFACES. SEE NOTE ① THIS SHEET.
- ⑮ REMOVE LEAD BASED PAINT IS REMOVED FROM STRUCTURAL STEEL AND PLUMBING SYSTEMS OR APPLIANCES ENCUMBER ACCESS TO ABATEMENT SURFACES. CONTRACTOR TO FIELD VERIFY ACTUAL CONDITIONS.

5 PLATFORM FRAMING PLAN
SCALE: 1/2" = 1'-0"



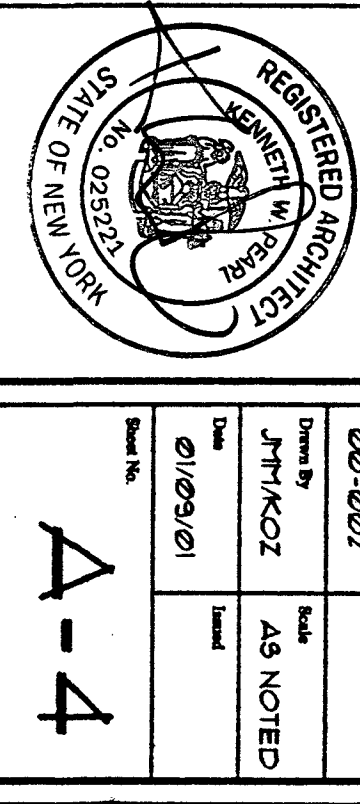
2 APT. TYPE 'D' NEW CONSTRUCTION AT BASEMENT
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- ① CONTRACTOR SHALL MAINTAIN FLOOR DRAINS AND SHIP PITS FREE FROM THE ACCUMULATION OF DEBRIS DURING ALL ABATEMENT, DEMO, AND NEW CONSTRUCTION OPERATIONS. WASTE OR DEBRIS WASHED INTO THE BASEMENT STORM DRAINAGE SYSTEM SHALL BE REMOVED, AND THE SYSTEM RESTORED TO A PRE-CONTRACT CONDITION. BY THE RESPONSIBLE CONTRACTOR.
- ② EXISTING ELEVATED COPPER SANITARY WASTE PIPING, EXACT LOCATION VARIES BY ADDRESS. FIELD VERIFY ACTUAL LOCATION.
- ③ EXISTING BOILER PACKAGE, VENTING SYSTEM, AND OVERHEAD EXPANSION TANK FIELD VERIFY ACTUAL CONDITIONS. BOILER PACKAGE LIMITS ACCESS TO STRUCTURAL STEEL. (TYP.)
- ④ EXISTING HEAT LINE LOCATION AND QUANTITY VARIES BY ADDRESS. FIELD VERIFY ACTUAL LOCATION.
- ⑤ EXISTING DOUBLE JOIST FLOOR OPENING FRAMING TO REMAIN. FIELD VERIFY ACTUAL LOCATION, SIZE, AND DIMENSIONS.
- ⑥ FRESH AIR INTAKE PIPING LIMITS ACCESS TO STRUCTURAL STEEL. (TYP.) EXACT LOCATION AND CONFIGURATION VARIES BY ADDRESS. FIELD VERIFY ACTUAL CONDITIONS.

2 APT. TYPE 'D' NEW CONSTRUCTION AT BASEMENT
SCALE: 1/4" = 1'-0"

- ① EXIST BOILER WATER SUPPLY PIPING, VIF.
- ② ALTERNATE FRESH AIR INTAKE ORIENTATION.
- ③ CONTRACT REPLACE/REPAIR STAIR WITHIN EXISTING STAIR OPENING.
- ④ WASTE PIPING SUPPORTED FROM ABOVE PIPE ELEVATION VARIES BY ADDRESS. FIELD VERIFY ACTUAL LOCATION.
- ⑤ FRESH AIR INTAKE PIPING THAT ENCUMBER ACCESS TO ABATEMENT SURFACES. SEE NOTE ① THIS SHEET.
- ⑥ CONTRACTOR TO VIF ACTUAL EXIST DRILLED RAIL BRACKET LOCATION. ABANDON EXIST. IF REQUIRED RAIL ELEVATION IS NOT ACHIEVED WITH NEW CONSTRUCTION. PATCH ABANDONED BRACKET SMOOTH & PREP FOR FIN PAINT. PREP COLUMN FOR INSTALLATION OF NEW BRACKET SYSTEM AT REQUIRED ELEVATION.
- ⑦ PAINT EXISTING STAIRWELL WALLS AND CEILING SURFACES.



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LEAD BASED PAINT ABATEMENT AND BASEMENT STAIR REPLACEMENT AT JORDAN GARDENS DEVELOPMENT NIAGARA FALLS, NEW YORK

Drawing Title: **APARTMENT TYPE D PLANS AND DETAILS**

Project No.	Rev.	Date
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As NOTED		

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