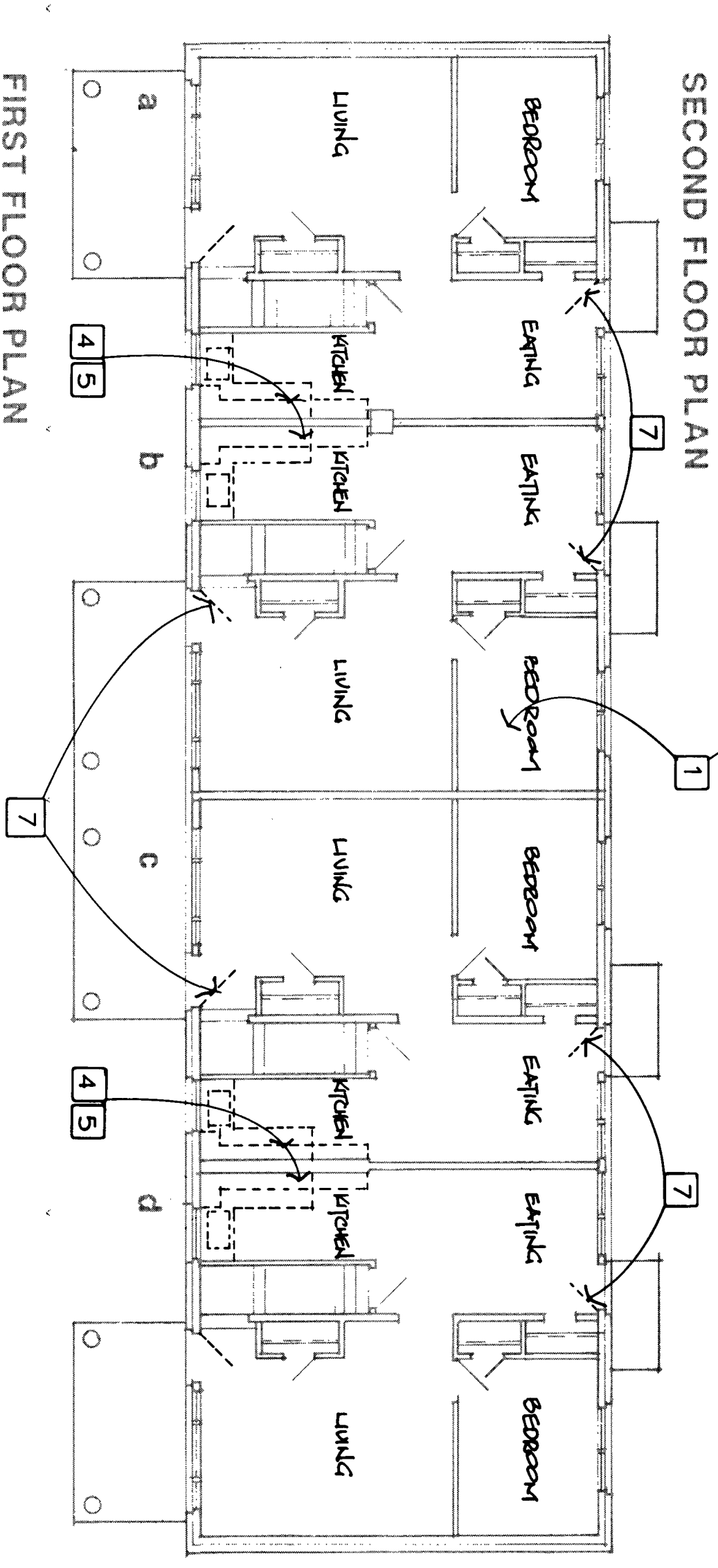
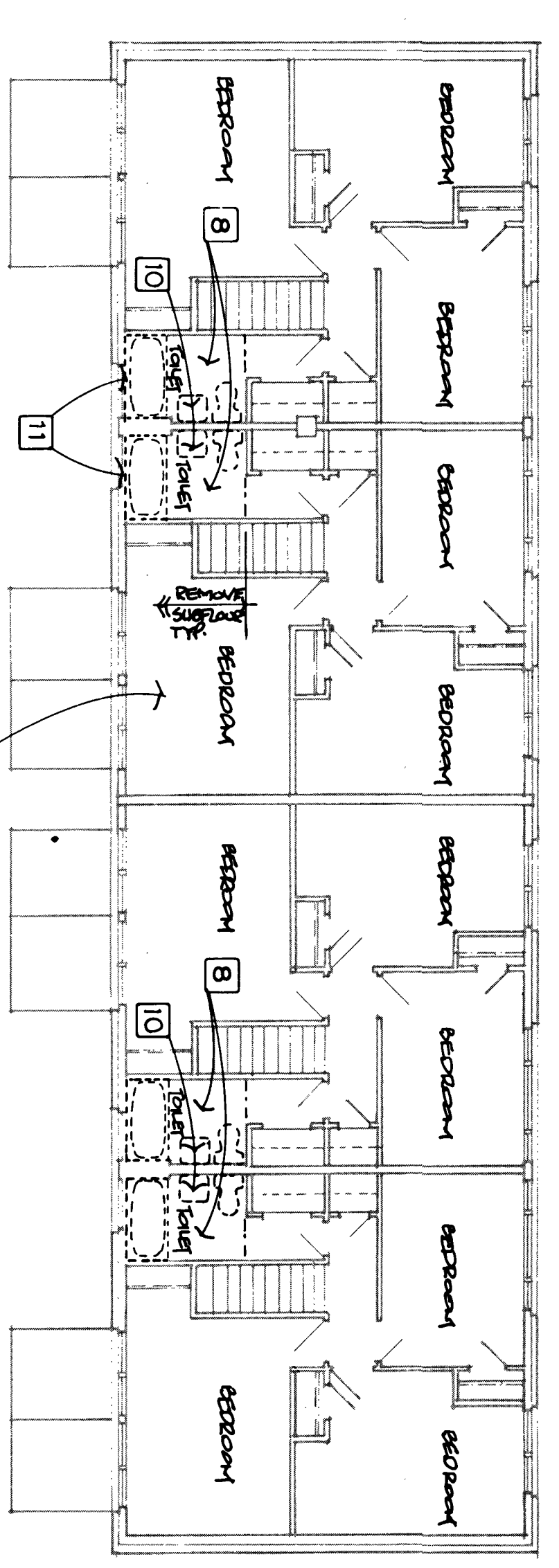
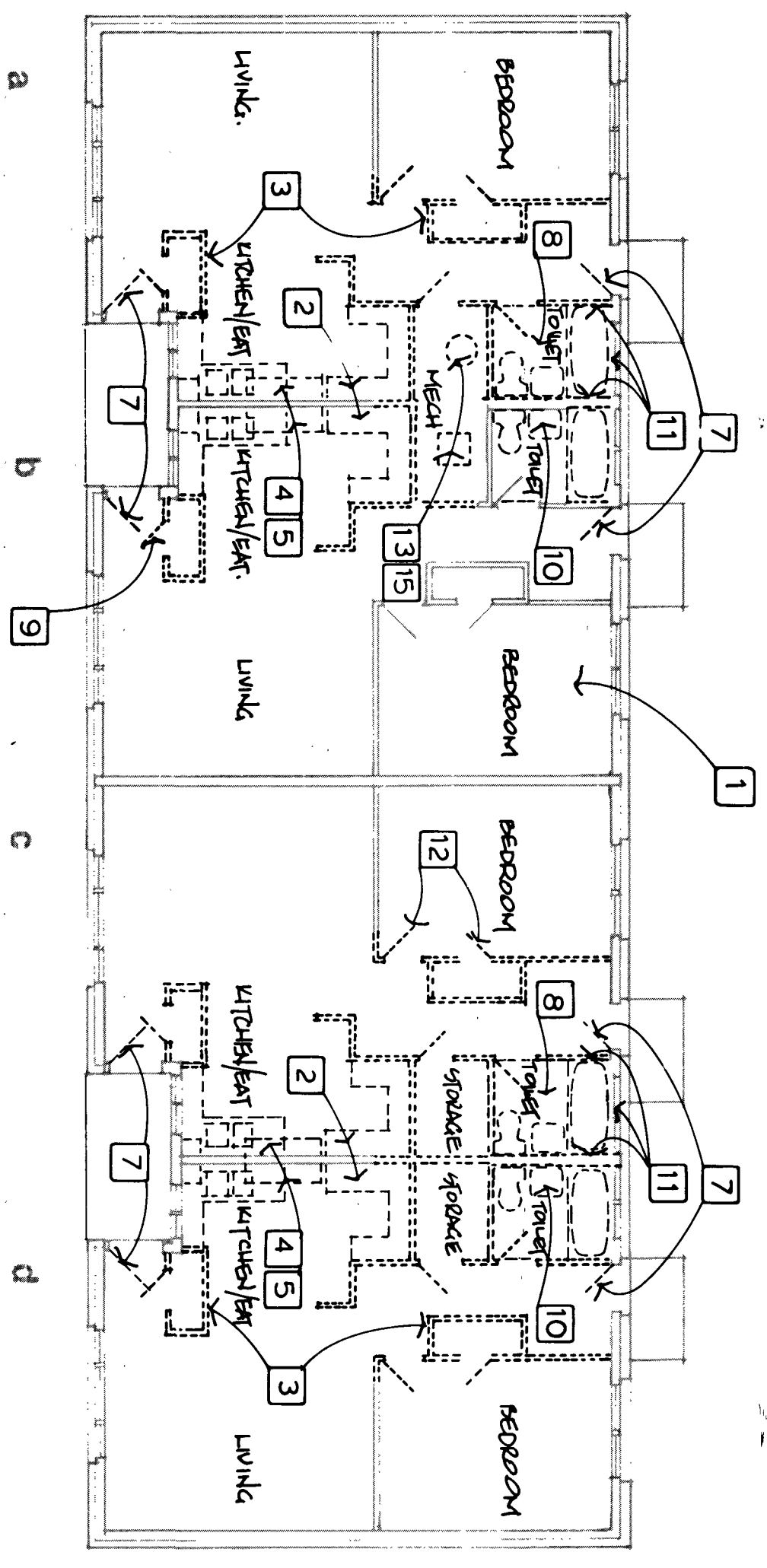


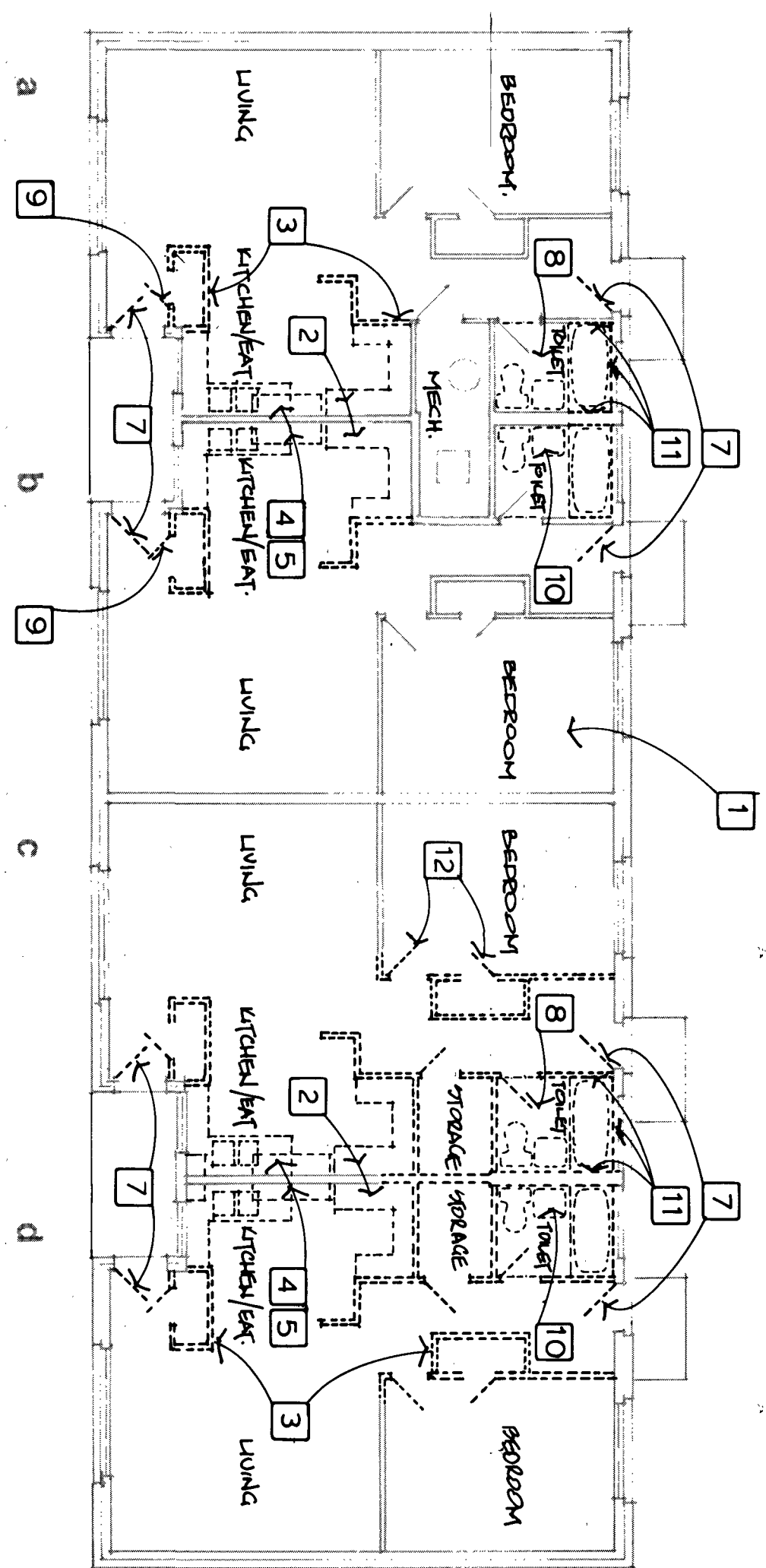
6-4 BEDROOMS
BUILDING NO. 23



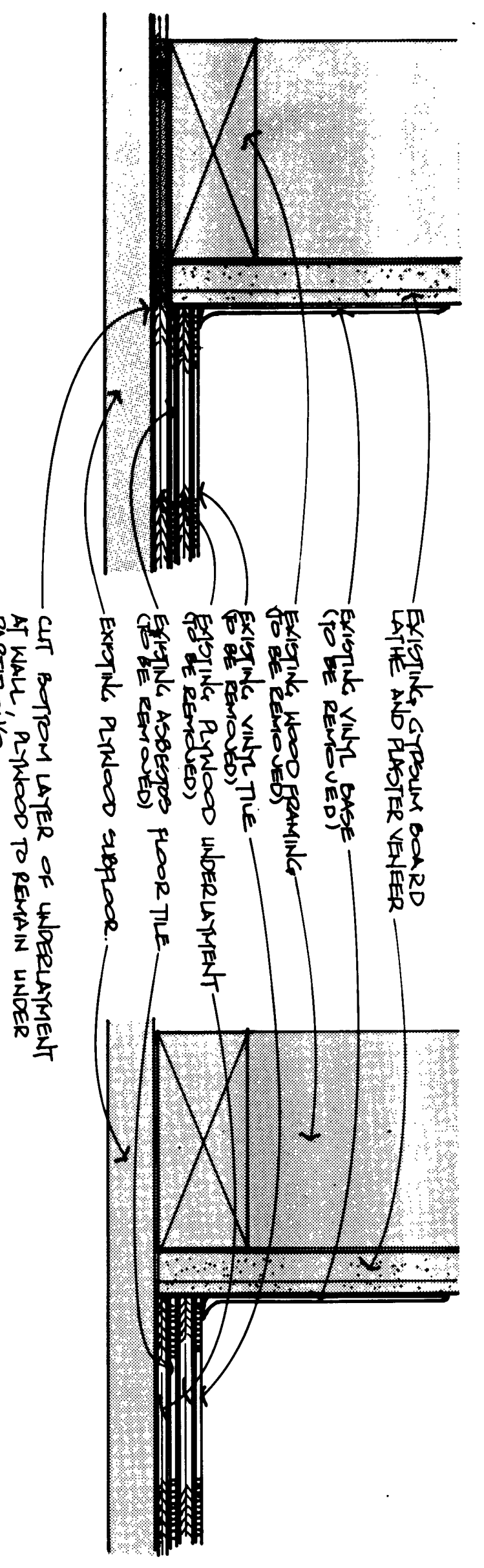
4-4 BEDROOMS
BUILDING NOS. 14, 15, 16, 17, 18, 20, 24



4-1 BEDROOMS
BUILDING NO. 12



4-1 BEDROOMS
BUILDING NO. 13



FIRST FLOOR DETAIL

SECOND FLOOR DETAIL

ASBESTOS ABATEMENT

1. THE ORIGINAL BOTTOM LAYER VINYL FLOOR TILES UTILIZED THROUGHOUT THE CONSTRUCTION OF THE APARTMENT COMPLEX TILES ARE PRESENTLY OVERLAIN WITH 1/4-INCH THICK VINYL AND NON-ASBESTOS CONTAINING FLOOR TILES AND/OR UNDERLAIN.
2. THE WORK OF THIS CONTRACTOR SHALL BE THE COMPLETE REMOVAL AND DISPOSAL OF ALL VINYL BASE TILES, FLOOR COVERINGS AND THEIR UNDERLAYMENTS THROUGHOUT THE COMPLEX.
3. THE COMPLEX IS COMPOSED OF 100 HOUSING UNITS WITHIN A TOTAL OF 24 APARTMENT BUILDINGS. THE TOTAL AREA OF FLOOR COVERING TO BE REMOVED IS ESTIMATED TO BE 80,000 SQUARE FEET. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES.
4. THE WORK IS TO BE PERFORMED ON A UNIT BY UNIT BASIS IN ACCORDANCE WITH THE PROJECT SCHEDULE TO FACILITATE OCCUPANCY OF THE REMAINING UNITS.
5. PRIOR TO ABATEMENT ACTIVITIES, THE GENERAL CONTRACTOR SHALL COMMENCE LIMITED DEMOLITION WORK IN EACH HOUSING UNIT TO REMOVE THE REMOVAL OF OTHER CABINETS, VANITIES, AND BACING PLATES. THE WORK AREAS WILL BE BROOM CLEANED AND TURNED OVER TO THE APARTMENT CONTRACTOR INDIVIDUALLY.
6. ABATEMENT WORK AND CLEARANCE OF EACH WORK AREA IS TO BE ACHIEVED IN FOUR (4) WORKING DAYS.

SCOPE OF WORK

1. WORK AREA PREPARATION - PREPARE THE INDIVIDUAL WORK AREAS IN ACCORDANCE WITH SECTION 56, APPLICABLE SPECIFICATIONS. THE PROJECT SPECIFICATIONS, AND THESE SPECIFICATIONS.
2. REMOVE SEPARATE LOCATED DUMPS, SPECIFICALLY FOR WASTE GENERATED FROM THE WORK AREAS. THE LOCATION OF THE DUMPS ARE TO BE AS AGREED UPON BETWEEN THE OWNER, ARCHITECT, ENGINEER, AND CONTRACTOR.
3. PROVIDE TEMPORARY CONSTRUCTION FENCING FROM WORK AREA EXITS TO 10 FEET BEYOND PERIMETER OF DUMPS.
4. REMOVE AND DISPOSE OF VINYL BASE TILES, ADHESIVES, FLOOR COVERINGS, AND UNDERLAYMENTS IN THEIR ENTIRETY AS DETAIL B.
5. DETAIL B.
6. PLACE ASBESTOS CONTAINING VINYL FLOOR TILES ADHERED TO THEIR UNDERLAYMENTS IN THE APPROPRIATE DUMPS OR CONTAINERS AND PLACE ALL OTHER ASBESTOS CONTAINING MATERIALS IN THE APPROPRIATE DUMPS OR CONTAINERS.
7. CONTAINERS AND PLACE ALL OTHER ASBESTOS CONTAINING MATERIALS IN THE APPROPRIATE DUMPS OR CONTAINERS.

DEMOLITION NOTES

1. ALL EXISTING FLOORING MATERIALS ARE TO BE REMOVED DOWN TO THE PLYWOOD SUBFLOOR. THIS INCLUDES THE ORIGINAL PLYWOOD UNDERLAYMENT AND VINYL FLOORING. REMOVE ALL EXISTING FLOORING MATERIALS AND VINYL COMPOSITION TILE (VCT) INSTALLED OVER THE VCT. TYPICAL ALL ROOMS IN ALL UNITS. SEE ASBESTOS ABATEMENT GENERAL NOTES SCOPE OF WORK ON DRAWING 3.
2. REMOVAL OF ALL VINYL COVE BASE AND HARDENED ADHESIVE, WHICH CONTAIN TRACE AMOUNTS OF ASBESTOS. ANY ADHESIVES REMAINING ON THE WALL WILL BE SCRAPED FLUSH WITH PLASTER SURFACE TO FACILITATE REFINISHING OF WALL. TYPICAL ALL ROOMS IN ALL UNITS.
3. ALL STAIRS HAVE VINYL TREAD COVERS. THESE COVERS ARE TO BE REMOVED AND DISPOSED IN THE APPROPRIATE DUMPS OR CONTAINERS. ALL MATERIALS CONTAINING ASBESTOS WILL BE REMOVED BY ABATEMENT CONTRACTOR.
4. IT IS GENERALLY UNDERSTOOD THAT THE ORIGINAL UNDERLAYMENT UNDER THE VINYL ASBESTOS TILE (VAT) WAS APPLIED UNDER ALL PARTITIONS ON THE SECOND FLOOR OF ALL UNITS BUT IT WAS NOT APPLIED UNDER THE PARTITIONS ON THE ALL THE FIRST FLOOR. SEE FIRST AND SECOND FLOOR DETAILS 179 AND 178.
5. PRIOR TO DEMOLITION ALL HEAVY COVERERS WITH BACK PLATES ARE TO BE REMOVED. THESE COVERERS ARE TO BE REINSTALLED LATER, THEREFORE ALL COVERERS SHOULD BE CAREFULLY REMOVED AND STORED IN A SAFE LOCATION.
6. REMOVE WOOD SHELVING AND SUPPORTS. TYPICAL IN ALL ONE AND THREE BEDROOM UNITS.
7. REMOVE EXISTING PARTITION FROM EXISTING PLYWOOD SUBFLOOR TO EXISTING STAIRS. TYPICAL EXISTING PARTITIONS ARE CONSTRUCTED OF WOOD STUDS, GYPSUM BOARD LATH WITH A FINISH COAT OF PLASTER.
8. REMOVE EXISTING PLASTIC LAMINATED COUNTERTOPS WITH SINK AND CONTROLS AND REMOVE EXISTING PLASTER BACKSPLASH ADHERED TO WALL BETWEEN THE FACILITATE FINISHING. TYPICAL IN ALL UNITS.
9. REMOVE ALL EXISTING BASE AND/OR WALL CABINETS. TYPICAL ALL UNITS.
10. REMOVE ALL EXISTING SOFFITS. TYPICAL ALL UNITS.
11. REMOVE EXISTING PRIME ENTRANCE DOOR, FRAME, SILL AND STORM DOOR. TYPICAL ALL UNITS BOTH FRONT AND BACK ENTRANCE. REMOVE THE STONE SILLS AT THE FRONT DOORS OF ALL MOBILITY IMPAIRED UNITS ONLY. SEE JAMB AND SILL DETAILS ON DRAWING 8.
12. REMOVE EXISTING PLYWOOD SUBFLOOR AS NOTED ON DRAWINGS. TYPICAL IN ALL BATHROOMS.
13. REMOVE SALVAGED EXISTING 2'-0" x 8'-0" DOOR, FRAME AND HARDWARE. DOOR TO BE REINSTALLED IN SAME LOCATION. THESE DOORS SHOULD BE CAREFULLY REMOVED AND STORED IN A SAFE LOCATION.
14. REMOVE EXISTING TOILET, BATHTUB, VANITY, MEDICINE CABINET, SINK AND CONTROLS. TYPICAL ALL EXISTING BATHROOMS.
15. REMOVE EXISTING CEILING. THE EXISTING WOOD STUDS ARE TO REMAIN. TYPICAL ALL UNITS.
16. REMOVE INTERIOR DOOR, FRAME AND HARDWARE. TYPICAL UNLESS NOTED.
17. FOR REMOVAL AND/OR RELOCATION OF ALL PLUMBING, ELECTRICAL AND MECHANICAL EQUIPMENT, SEE PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS.
18. ALL REMOVALS BY GENERAL CONTRACTOR UNLESS NOTED ON DRAWINGS.
19. REMOVE GYPSUM BOARD AND PLASTER CEILING TO EXISTING WOOD CEILING JOISTS IN EXISTING MECHANICAL ROOM AND THE AREA OF CEILING LOCATED IN THE EXISTING MECHANICAL ROOM.
20. THE INFORMATION ON THIS DRAWING HAS BEEN PREPARED BY THE ARCHITECT AND ENGINEER. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE INFORMATION ON THIS DRAWING. PART 11.4.4.4. UNITS. INT.

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NY 11-2

DEMOLITION FLOOR PLANS
TRAUTMAN ASSOCIATES

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